

APPENDIX C

Development and Design Standards

This section sets out the development and design standards and permissible uses for the Tahoe Valley Area Plan land use districts and have been designed to achieve the desired community vision and urban form.

Applicability: All projects within the Tahoe Valley Area Plan boundaries shall meet the standards provided below. In addition, all projects are required to meet the City-wide Design Standards when applicable. Should a conflict occur between the City-wide standards and the Tahoe Valley Area Plan standards, the standards of this Area Plan shall apply. All regulations in the TRPA Code of Ordinances shall remain in effect unless superseded by the provisions of this Area Plan.

Permissible Uses

Table 1 lists the permitted primary land uses by district for the Tahoe Valley Area Plan and land use definitions are provided in Table 2. The regulations for the district are established by letter designations listed below. The designations apply strictly to the permissibility of land uses; applications for buildings or structures may require discretionary review. Uses not listed in the Table are prohibited.

Portions of the Tahoe Valley Area Plan lie within the safety zones established by the Lake Tahoe Airport Comprehensive Land Use Plan (CLUP). Uses within these zones may be further restricted by the CLUP. Users of this Area Plan should refer to the CLUP to determine if additional restrictions are applicable to the property they are interested in or consult with the City of South Lake Tahoe Planning Division.

(A) designates allowed uses subject to zoning compliance. An allowed use is one that can be established as the primary use of a building.

(S) designates uses that are permitted subject to approval of a Special Use Permit. A Special Use Permit requires discretionary approval by the City Planning Commission or Zoning Administrator following review and a determination that the nature of the proposed use, at the location proposed, is not detrimental to the public welfare or injurious to property or improvements in the neighborhood. To obtain a special use permit, the applicant must generally show that the contemplated use is compatible with the zoning ordinance and land use standards. Findings that such use would be essential or desirable to the public convenience or welfare, and will not impair the integrity and character of the zoned district or be detrimental to the public health, safety, morals or welfare are required.

(TRPA) designates uses that require TRPA review and permitting

(-) designates uses that are not permitted.

**Table 1
PERMITTED USES BY LAND USE DISTRICT**

Permitted Uses Key: "A" – Allowed Use "S" – Special Use "T" – Temporary Use "TRPA" – TRPA Review Required "- " – Use Not Permitted	TC-C	TC-MUC	TC-G	TC-NP	TC-HC	CMX-S	OS
RESIDENTIAL							
Employee Housing	A	A	-	A	A	S	-
Mobile Home Dwelling	-	-	S	S	S	S	-
Multiple Family Dwelling	A	A	A	A	A	S6	-
Multi-Person Dwelling	-	-	-	A	A	S	-
Nursing and Personal Care	-	-	-	A8	A8	-	-
Residential Care	-	-	-	A8	A8	-	-
Single Family Dwelling (includes condominiums)	A2	A2	A2	A7	S	S6	-
TOURIST ACCOMMODATION							
Bed & Breakfast Facilities	-	-	A	A	-	-	-
Hotel, Motel, Other Transient Dwelling Units	A	A	A	S	S	-	-
Time Sharing	A	A	A	-	-	-	-
RETAIL COMMERCIAL							
Auto, Mobile Home, and Vehicle Dealers		S		-	-	A	-
Building Material & Hardware	S	A	S	-	-	A	-
Eating & Drinking Places	A	A	A	-	-	A	-
General Retail and Personal Services	A	A	A	-	-	A	-
Nursery	-	S	S	-	-	A	-
Outdoor Retail Sales	S	S	S	-	-	A	-
Service Stations ¹	S	S	S	-	-	A	-
ENTERTAINMENT COMMERCIAL							
Amusement & Recreation	A	A	A	-	-	A	-
Outdoor Amusements	S	S	S	-	-	-	-
Privately Owned Assembly & Entertainment	A8	S8	S8	-	-		-
SERVICE COMMERCIAL							
Animal Services	-	S	S	A	-	A	-
Auto Repair and Service			-			A	
Business Support Services	A	A	A	A	-	A	-
Health Care Services	A	A	A	A	A	A	-
Laundries & Dry Cleaning Plant ¹					-	A	-

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Professional Offices	A3	A	A	A	-	A	-
Repair Services ¹	S	A	A	-	-	A	-
Sales Lot	-	-	-	-	-	A	-
Schools – Business & Vocational	S8	S8	S8	S8	S8	A8	-
Secondary Storage	S	S	S	S	S	A	-
LIGHT INDUSTRIAL COMMERCIAL							
Food & Kindred Products	-	-	-	-	-	A	-
Fuel & Ice Dealers ¹	-	-	-	-	-	A	-
Industrial Services	-	-	-	-	-	A	-
Recycling & Scrap	-	-	-	-	-	A	-
Small Scale Manufacturing	S	S	S	S	-	A	-
Light Manufacturing	-	-	-	-	-	A	-
WHOLESALE/STORAGE COMMERCIAL							
Storage Yards ¹	-	-	-	-	-	A	-
Vehicle & Freight Terminals	-	-	-	-	-	A	-
Parking Lots ¹	S	S	S	S	S	A	-
Warehousing	-	-	S4	-	-	A	-
Wholesale & Distribution	-	-	-	-	-	A	-
GENERAL PUBLIC SERVICE							
Airfields, Landing Strips & Heliports ¹	-	-	-	-	S5	-	-
Collection Stations ¹	-	-	-	-	-	A8	-
Cultural Facilities	A	A	A	A	S	A	-
Daycare Centers/Preschool	A3	A	A	A	A	S	-
Government Offices	A	A	A	A	S	A	-
Hospitals ¹	-	-	-	-	A8	-	-
Local Assembly & Entertainment	A	A	A	S	-	S	-
Local Public Health and Safety Facilities ¹	A	A	A	A	A	A	A
Membership Organizations	-	A	A	A	-	A	-
Post Office	A3	A	A	-	-	A	-
Public Owned Assembly & Entertainment	A8	A8	A8	-	-	-	-
Public Utility Centers ¹	S	-	-	-	-	A	-

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Regional Public Health and Safety Facilities	-	-	-	-	-	S	-
Religious Assembly	A	-A	A	A	A	S	-
School – College ¹	-	-	-	S	-	-	-
Schools – Kindergarten through Secondary ¹	-	-	-	S	-	-	-
Social Service Organizations	-	A	A	A	A	A	-
Threshold Related Research Facilities	A3	A	A	A	-	A	-
LINEAR PUBLIC FACILITIES							
Pipelines & Power Transmission	S	S	S	S	S	A	S
Transit Stations & Terminals	S	S	S	S	S	A	
Transmission & Receiving Facilities	S	S	S	S	S	A	S
Transportation Routes	A	A	A	A	A	A	A
RECREATION							
Day Use Areas	A	A	A	A	S	A	A
Outdoor Recreation Concessions	A	S	A	-	-	-	-
Participant Sport Facilities	S	-	-	-	-	S	-
Recreation Centers	-	-	-	-	S	A	-
Riding and Hiking Trails	A	A	A	A	A	A	A
Visitor Information Centers	S	S	S	-	-	-	-
RESOURCE MANAGEMENT							
Forest and Timber Resource Management	A	A	A	A	A	A	A
Tree Farms	A	A	A	A	A	A	A
Vegetation Resource Management	A	A	A	A	A	A	A
Water Quality Improvements and Watershed Management	A	A	A	A	A	A	A
Wildlife and Fisheries Resource Management	A	A	A	A	A	A	A
OPEN SPACE							
Allowed in all areas of the Region	A	A	A	A	A	A	A

Note: All major design review projects that are visible from TRPA’s designated Scenic Highway Corridor (US Highway 50, State Route 89) will require a Planning Commission public hearing.

1. Land use category is identified in TRPA Code Section 60.3 as a “possible contaminating activity,” triggering special requirements pursuant to TRPA Code Section 60.4 if located within Source Water Protection Zone (see Figure 9).
2. Condominiums only.
3. As part of a mixed-use project only.
4. Limited to existing warehouse uses within the Town Center Gateway District (TC-G).
5. New non-emergency sites prohibited.
6. Allowed as part of a mixed-used project.
7. Secondary units requires City Design Review.
8. Portions of the Tahoe Valley Area Plan lie within the safety zones established by the Lake Tahoe Airport Comprehensive Land Use Plan (CLUP). Uses within these zones may be further restricted by the CLUP. Users of this Area Plan should refer to the CLUP to determine if additional restrictions are applicable to the property they are interested in or consult with the City of South Lake Tahoe Planning Division.

Table 2	
LIST OF PRIMARY USES AND USE DEFINITIONS	
USE	DEFINITIONS
RESIDENTIAL	
Employee Housing	Residential units owned and maintained by public or private entities for purposes of housing employees of said public or private entity.
Mobile Home Dwelling	A home built entirely in the factory on a non-removable steel chassis that is transported to the building site on its own wheels and was installed prior to June 15, 1976, when the Federal Manufactured Home Construction and Safety Standards (commonly known as the HUD Code) went into effect.
Multiple Family Dwelling	More than one residential unit located on a parcel. Multiple-family dwellings may be contained in separate buildings such as two or more detached houses on a single parcel, or in a larger building on a parcel such as a duplex, a triplex, or an apartment building. Vacation rentals are included, up to but not exceeding a four-plex, provided they meet the Local Government Neighborhood Compatibility Requirements as defined in the TRPA Code of Ordinances. One detached secondary residence is included-
Multi-Person Dwelling	A building designed primarily for permanent occupancy by individuals unrelated by blood, marriage, or adoption in other than single-family dwelling units or transient dwelling units. A multi-person dwelling includes, but is not limited to, facilities such as dormitories and boarding houses, but not such facilities as hotels, motels, and apartment houses.
Nursing and Personal Care	Residential establishments with in-patient beds providing nursing and health-related care as a principal use, such as skilled nursing care facilities, extended care facilities, convalescent and rest homes, and board and care homes.
Residential Care	Establishments primarily engaged in the provision of residential social and personal care for children, the aged, and special categories of persons with some limits on ability for selfcare, but where medical care is not a major element. The use includes, but is not limited to, children's homes, halfway houses, orphanages, rehabilitation centers, and self-help group homes.
Single Family Dwelling (includes condominiums)	One residential unit located on a parcel. A single-family dwelling unit may be contained in a detached building such as a single-family house, or in a subdivided building containing two or more parcels such as a town house condominium. Vacation rentals are included provided they meet the Local Government Neighborhood Compatibility Requirements as defined in the TRPA Code of Ordinances. A caretaker residence is included.
TOURIST ACCOMMODATION	
Bed & Breakfast Facilities	Residential-type structures that have been converted to or constructed as tourist accommodation facilities where bedrooms without individual cooking facilities are rented for overnight lodging, and where at least one meal daily is provided. The use does not include "Hotels and Motels," which are defined separately; nor rooming and boarding houses (see "Multi-Family Dwellings").
Hotel, Motel, Other Transient Dwelling Units	Commercial transient lodging establishments, including hotels, motor- hotels, motels, tourist courts, or cabins, primarily engaged in providing overnight lodging for the general public whose permanent residence is elsewhere. This use does not include Bed and Breakfast Facilities or Vacation Rentals.
Time Sharing	A right to exclusively use, occupy, or possess a tourist accommodation unit, according to a fixed or floating time schedule on a periodic basis occurring annually over a period of time in excess of three years.
RETAIL COMMERCIAL	

**Table 2
LIST OF PRIMARY USES AND USE DEFINITIONS**

USE	DEFINITIONS
Auto, Mobile Home, and Vehicle Dealers	Retail trade establishments selling new and used automobiles, boats, vans, campers, trucks, mobile homes, recreational and utility trailers, motorcycles, golf carts, snowmobile and jet skis (except bicycles and mopeds; see "General Merchandise"). Such businesses are considered a primary use when the establishment sells more than six vehicles per calendar year. The use also includes establishments selling new automobile parts, tires, and accessories (including tire recapping establishments), as well as establishments dealing in used automobiles exclusively. Includes automobile repair shops only when maintained by an establishment selling new vehicles on the same site. Does not include establishments dealing exclusively in used parts (see "Recycling and Scrap") or outside sales (see "Secondary Storage" or "Sales Lots").
Building Material & Hardware	Retail trade establishments within buildings primarily engaged in selling lumber and other building materials, including paint, wallpaper, glass, hardware, nursery stock, and lawn and garden supplies. The use includes all such stores selling to the general public, even if contractor sales account for a larger proportion of total sales. Outside storage or display is included as part of the use. Establishments primarily wholesaling plumbing, heating and air conditioning equipment, and electrical supplies are classified in "Wholesale and Distribution."
Eating & Drinking Places	Restaurants, bars, and other establishments selling prepared foods and drinks for on-premise consumption, as well as facilities for dancing and other entertainment that are accessory to the principal use of the establishment as an eating and drinking place. The use also includes drive-in restaurants, lunch counters, and refreshment stands selling prepared goods and drinks for immediate consumption.
General Retail and Personal Services	An establishment for the retail sale of merchandise or the provision of personal services. A retail facility includes but is not limited to antique or art shops, clothing, drug, dry good, florist, furniture, gift, grocery, hobby, mailing services, office supply, package liquor, paint, pet, shoe, sporting, bike or moped, boats, golf carts, snowmobiles, jet skis, automobile parts, books, toy stores, and other miscellaneous retail shopping goods (auto, mobile home and vehicle sales are not included in this definition). A personal service facility includes facilities primarily engaged in providing non-medical services generally involving the care of persons, such as: beauty and barber shops; shoe repair shops; saunas and hot tubs; laundromats (self-service laundries); dry cleaning pick-up stores and small-scale dry cleaners without pick-up and delivery services; clothing rental; dating and escort services; offsite rental of sporting equipment; and wedding chapels. The use may also include the accessory retail sales of products related to the services provided.
Nursery	Commercial retail and wholesale establishment where plants are grown or stored for transplanting at other sites. Outside storage or display is included as part of the use.
Outdoor Retail Sales	Retail trade establishments operating outside of buildings on a daily or weekly basis, such as: roadside stands; flea markets; swap meets; seasonal sales involving Christmas trees, pumpkins, or other seasonal items; regular sales of art or handcrafted items in conjunction with community festivals or art shows; and retail sales of various products from individual motor vehicles locations outside the public right-of-way, not including bakery, ice cream, and similar vending vehicles that conduct all sales within the right-of-way and do not stop

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USE	DEFINITIONS
	in any location except on customer demand. Outside storage or display is included as part of the use.
Service Stations	Retail trade establishments primarily engaged in the sale of gasoline, which may also provide lubrication, oil change and tune-up services, and the sale of automotive products incidental to gasoline sales. The use may also include as accessory uses towing, mechanical repair services, car washing and waxing, and trailer rental. The use does not include storage of wrecked or abandoned vehicles, paint spraying body and fender work, and retail sale of gasoline as an accessory use to food and beverage retail sales when limited to not more than two pumps.
ENTERTAINMENT COMMERCIAL	
Amusement & Recreation	Establishments providing amusement or entertainment for a fee or admission charge, such as: arcades and coin-operated amusements; billiard and pool halls; bowling alleys; card rooms; clubs and ballrooms that are principal uses rather than being subordinate to an eating or drinking place; dance halls; gymnasiums; health and athletic clubs; ice skating and roller skating facilities; indoor sauna, spa, or hot tub facilities; motion picture theaters; reducing salons; and tennis, handball, racquetball, indoor archery and shooting ranges, and other indoor sports activities.
Outdoor Amusements	Commercial establishments for outdoor amusement and entertainment such as: amusement parks; theme and kiddie parks; go cart and miniature auto race tracks; and miniature golf courses. Outside storage or display is included as part of the use.
Privately Owned Assembly and Entertainment	Commercially operated facilities for public assembly and group entertainment with a capacity of greater than 300 people, such as: auditoriums; exhibition and convention halls; theaters, meeting halls and facilities for "live" theatrical presentations or concerts by bands and orchestras; amphitheaters; meeting halls for rent; and similar public assembly uses.
SERVICE COMMERCIAL	
Animal Services	Establishments primarily engaged in performing services for animals, such as veterinary services, animal hospitals, animal kennels . The use does not include publicly operated animal control and wildlife care (see "Local Public Health and Safety Facilities").
Auto Repair and Service	Service establishment engaged in repair, alteration, painting, washing, or waxing of automobiles as a principal use. The use also includes storage and maintenance yards for rental of cars, trucks, or trailers. Outside storage or display is included as part of the use. The use does not include: automobile parking (see "Transportation"); repair shops subordinate to and maintained by a vehicle dealership; service stations (which are separately defined); or automobile wrecking yards (see "Recycling and Scrap").
Business Support Services	Service establishments within buildings that provide other businesses with services including maintenance, repair and service, testing, and rental. This includes establishments such as: outdoor advertising services, mail advertising services (reproduction and shipping); blueprinting, photocopying, and photofinishing; computer-related services (rental, repair, and maintenance); commercial art and design (production); film processing laboratories; and services to structures such as window cleaning, exterminators, janitorial services, and business equipment repair services.

**Table 2
LIST OF PRIMARY USES AND USE DEFINITIONS**

USE	DEFINITIONS
Health Care Services	Service establishments primarily engaged in furnishing medical, mental health, surgical, and other personal health services such as: medical, dental, and psychiatric offices; medical and dental laboratories; outpatient care facilities; and allied health services. Associations or groups primarily engaged in providing medical or other health services to members are included. Nursing homes and similar long-term personal care facilities are classified in "Nursing and Personal Care," and mental health-related services, including various types of counseling practiced by licensed individuals other than medical doctors or psychiatrists or unlicensed individuals, are included under Professional Offices.
Laundries & Dry Cleaning Plant	Service establishments primarily engaged in high-volume laundry and garment services, such as power laundries (family and commercial); garment pressing and dry cleaning; linen supply; diaper service; industrial laundries; and carpet and upholstery cleaners. The use does not include coin-operated laundries or dry cleaning pick-up stores without dry cleaning equipment (see "General Retail and Personal Services").
Professional Offices	A place where the following kinds of business are transacted or services rendered: engineering, architectural and surveying; real estate agencies; educational, scientific and research organizations; financial services; writers and artists; advertising agencies; photography and commercial art studios; publishing with offsite printing facilities; broadcasting studios; employment services; off premise concessions (OPC); reporting services; computer services; management, public relations, and consulting services; organizational offices; detective agencies; professional services; attorneys; and counseling services (other than licensed psychiatrists; see "Health Care Services"). Incidental offices are considered accessory uses to a primary use.
Repair Services	Service establishment where repair of consumer products is the principal business activity, such as: electrical repair shops; television, radio, and other appliance repair; watch, clock, and jewelry repair; boat repair; small engine repair; and reupholstery and furniture repair. An outdoor storage yard associated with these uses is considered under "Secondary Storage." The use does not include businesses serving the repair needs of heavy equipment (see "Industrial Services").
Sales Lot	Outdoor sales area for permanent display of motor vehicles, recreational vehicles, mobile homes, construction equipment, farm machinery, or other heavy equipment; outdoor equipment rental yards (not including recreational equipment rental); and large-scale, permanent outdoor sales activities such as livestock auctions and sales. Outside storage or display is included as part of the use.
Schools – Business & Vocational	Business and vocational schools offering specialized trade and commercial courses.
Secondary Storage	The outdoor storage of various materials or the public display of merchandise on the same site as a principal building or use that supports the activities or conduct of the principle use and does not increase the intensity of the use. This does not apply to primary uses that include outside storage and display as part of the use.
LIGHT INDUSTRIAL COMMERCIAL	

**Table 2
LIST OF PRIMARY USES AND USE DEFINITIONS**

USE	DEFINITIONS
Food & Kindred Products	Manufacturing establishments producing or processing foods and beverages for human consumption and certain related products for distribution within the region, such as meat and poultry processing, dairy products processing, beverages and liquors processing, and miscellaneous food preparation from raw products. Outside storage or display is included as part of the use.
Fuel & Ice Dealers	Retail trade establishments primarily engaged in the sale to consumers of ice, bottled water, fuel oil, butane, propane, and liquefied petroleum gas (LPG), bottled or in bulk, as a principal use. Outside storage or display is included as part of the use.
Industrial Services	Service establishments providing other businesses with services, including maintenance, repair, service, testing, publishing, and rental. This includes establishments such as: welding repair, armature rewinding, and heavy equipment repair, vehicle repair; research and development laboratories, including testing facilities; soils and materials testing laboratories; equipment rental businesses that are entirely within buildings (for equipment rental yards, see "Sales Lots"), including leasing tools, machinery and other business items; and other business services of a "heavy service" nature. Outside storage or display is included as part of the use.
Recycling & Scrap	Establishments engaged in assembling, breaking up, sorting, temporary storage, and distribution of recyclable or reusable scrap and waste materials, including auto wreckers engaged in dismantling automobiles for scrap. Outside storage or display is included as part of the use. The use does not include terminal waste disposal sites, which are prohibited and temporary storage of toxic or radioactive waste materials.
Small Scale Manufacturing	Establishments primary engaging in retail sales and secondarily as a fine art or craftsman demonstration workshop of light industrial nature such as sculptor, potter, weaver, carver, jeweler, or other similar art that requires artistic skill . Outside storage or display would require approval of a Special use Permit.
Light Manufacturing	Establishments considered to be light manufacturing or cottage industry that produce jewelry, silverware and plated ware; musical instruments; toys; sporting and athletic goods; pens, pencils, and other office and artists' materials; buttons, costume novelties, miscellaneous notions; brooms and brushes; caskets; and other miscellaneous manufacturing industries. The use also includes artisan and craftsman-type operations that are not home occupations and that are not secondary to on-site retail sales. The use also includes small-scale blacksmith and welding services and the manufacture of trusses. Outside storage or display is included as part of the use.
WHOLESALE/STORAGE COMMERCIAL	
Storage Yard	Service establishments primarily engaged in the business of storing operative cars, buses, or other motor vehicles, construction equipment, materials or supplies, fire wood lots, or industrial supplies. Outside storage or display is included as part of the use.
Vehicle & Freight Terminals	Transportation establishments furnishing services incidental to transportation, such as: freight forwarding services; transportation arrangement services; packing, crating, inspection and weighing services; freight terminal facilities; joint terminal and service facilities; trucking facilities, including transfer and storage; and postal service bulk mailing distribution centers. Outside storage

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USE	DEFINITIONS
	or display is included as part of the use.
Parking Lots	Service establishments primarily engaged in storing operative cars, buses, or other motor vehicles. The use includes both day use and long-term public and commercial garages, parking lots, and structures.
Warehousing	Transportation establishments furnishing services incidental to transportation, such as: freight forwarding services; transportation arrangement services; packing, crating, inspection and weighing services; freight terminal facilities; joint terminal and service facilities; trucking facilities, including transfer and storage; and postal service bulk mailing distribution centers. Outside storage or display is included as part of the use.
Wholesale & Distribution	Establishments engaged in the storage of merchandise for sale to retailers; to industrial, commercial, institutional, farm, or professional business users; or to other wholesalers; or acting as agents or brokers in buying merchandise for or selling merchandise to such persons or companies. The use includes such establishments as: merchant wholesalers; agents, merchandise or commodity brokers, and commission merchants; and assemblers. Outside storage or display is included as part of the use.
GENERAL PUBLIC SERVICE	
Airfields, Landing Strips & Heliports	Transportation facilities that are used for the landing or take-off of aircraft, including helicopters, such as airports, heliports, helipads, and seaplane bases. The use also includes any appurtenant areas used for airport buildings and accessory facilities, including terminals, aircraft sales and rentals, and fueling facilities. Outside storage or display is included as part of the use.
Collection Stations	Establishments engaged in the temporary accumulation and storage of recyclable or discarded materials, including toxic and hazardous wastes, which are subsequently transported to recycling centers or solid waste disposal sites for further processing on a regular and consistent schedule. Outside storage or display is included as part of the use. The use does not include automobile wrecking yards or any recycling processing facilities, which are listed under Recycling and Scrap or regional solid waste transfer stations, which are listed under Recycling and Scrap or Regional Public Health and Safety Facilities.
Cultural Facilities	Permanent public or quasi-public facilities generally of a noncommercial nature, such as art exhibitions, planetariums, botanical gardens, libraries, museums, archives, and arboretums.
Daycare Centers/Preschool	Establishments used for the care of seven or more children residing elsewhere.
Government Offices	Buildings containing office for public agencies, including administrative offices, and meeting rooms that are incidental and accessory to another government use such as transit terminals, vehicle storage, campground, or storage yards.
Hospitals	A public health and safety facility primarily engaged in providing diagnostic services and extensive medical treatment, including surgical and other hospital services. Such establishments have an organized medical staff, inpatient beds, and equipment and facilities to provide complete health care.

**Table 2
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USE	DEFINITIONS
Local Assembly & Entertainment	Facilities for public assembly and entertainment for the local community, not to exceed a capacity of 300 people, such as community centers, meeting halls, and multi-purpose centers.
Local Public Health and Safety Facilities	Facilities operated by public or quasi-public entities for the local protection of the public, such as: fire stations and other fire prevention facilities; police and sheriff substations; satellite highway maintenance and snow removal facilities; water tanks, pumps, wells and related facilities; monitoring facilities; sewage pumps and related facilities; and emergency services. Outside storage or display is included as part of the use.
Membership Organizations	Permanent meeting facilities for organizations operating on a membership basis for the promotion of the interests of the members, such as: business associations; professional membership organizations; labor unions and similar organizations; civic, social and fraternal organizations; political organizations; and other membership organizations. The use does not include country clubs in conjunction with golf courses (see "Golf Courses"); religious organizations ("see Religious assembly"); and lodging (see "Multi-person Dwelling").
Post Office	Establishments providing mail service and delivery, such as postal substations and neighborhood delivery centers.
Public Owned Assembly & Entertainment	Facilities owned and operated by a public or nonprofit entity for public assembly and group entertainment with a capacity of greater than 300 people, such as: public auditoriums; exhibition and convention halls; civic theaters, meeting halls and facilities for live theatrical presentations or concerts by bands, choirs, and orchestras; meeting halls for rent; community centers; and similar public assembly uses.
Public Utility Centers	Public and quasi-public facilities serving as junction points for transferring utility services from one transmission to another or to local distribution and service, such as: electrical substations and switching stations; major telephone switching centers; natural gas regulating and distribution facilities; public water system wells, treatment plants and storage; and community wastewater treatment plants and settling ponds. Outside storage or display is included as part of the use. The use does not include office or service centers (see "Professional Offices or Government Offices").
Regional Public Health and Safety Facilities	Regional facilities operated by public or quasi-public entities for protection of the public, such as: water and sewage facilities; transportation maintenance/storage facilities; police and sheriff substations and headquarters, including secondary county short-term incarceration facilities; and solid waste transfer stations that TRPA finds to be regionally serving. Secondary county short-term incarceration facility means a county jail (not a state or federal prison facility) that is not the primary jail for the county.
Religious Assembly	Religious organization assembly or institutional facility operated for worship or promotion of religious activities, including churches and incidental religious education. Other establishments maintained by religious organizations, such as full-time educational institutions, hospitals, and other potentially related operations (such as a recreational camp) are not considered a religious assembly and are classified according to their respective activities.

**Table 2
LIST OF PRIMARY USES AND USE DEFINITIONS**

USE	DEFINITIONS
Schools - College	Junior colleges, colleges, universities, and professional schools granting associate arts degrees, certificates, undergraduate and graduate degrees, and requiring for admission at least a high school diploma or equivalent general academic training.
Schools – Kindergarten through Secondary	Kindergarten, elementary, and secondary schools serving grades up to 12, including denominational and sectarian.
Social Service Organizations	Public and quasi-public establishments providing social services and rehabilitation services, counseling centers, welfare offices, job counseling and training centers, or vocational rehabilitation agencies, serving persons with social or personal problems requiring special services and the handicapped and the disadvantaged. The use includes organizations soliciting funds to be used directly for these and related services. The use also includes establishments engaged in community improvement and neighborhood development.
Threshold Related Research Facilities	Public or non-profit research establishments primarily engaged in implementing social, political, and scientific research relating to the Lake Tahoe Environmental Thresholds or the Lake Tahoe ecosystem. The use includes laboratories, monitoring stations, scientific interpretive centers, research and training classrooms, and related support facilities. Overnight multi-person facilities, outside storage, and caretaker facilities may be considered as accessory to this use. The use does not include facilities unrelated to threshold-related research, such as: general college administrative offices and classrooms (see Schools-College); and government administrative offices (see Government Offices and Facilities); or non-threshold-related research (which may be conducted under the Professional Office use).
LINEAR PUBLIC FACILITIES	
Pipelines & Power Transmission	Transportation facilities primarily engaged in the pipeline transportation of refined products of petroleum, such as: gasoline and fuel oils; natural gas; mixed, manufactured, or liquefied petroleum gas; or the pipeline transmission of other commodities. The use includes facilities for the transmission of electrical energy for sale, including transmission and distribution facilities. Outside storage or display is included as part of the use. The use does not include offices or service centers (see "Professional Offices"); equipment and material storage yards (see "Storage Yards"); distribution substations (see "Public Utility Centers"); and power plants (see "Power Generating Plants").
Transit Stations & Terminals	Passenger stations for vehicular and mass transit systems; also, terminal facilities providing maintenance and service for the vehicles operated in the transit system. The use includes, but is not limited to, buses, taxis, railway, and ferries. Outside storage or display is included as part of the use.
Transmission & Receiving Facilities	Communication facilities for public or quasi-public, commercial, and private electronic, optic, radio, microwave, electromagnetic, and photo-electrical transmission and distribution, such as: repeater and receiving facilities, feeder lines, and earth stations for satellite communications for radio, television, telegraph, telephone, data network, and other microwave applications. The use includes local distribution facilities such as lines, poles, cabinets, and conduits. Outside storage or display is included as part of the use. The use does not include uses described under Broadcasting Studios.

Table 2	
LIST OF PRIMARY USES AND USE DEFINITIONS	
USE	DEFINITIONS
Transportation Routes	Public right-of-ways that are improved to permit vehicular, pedestrian, and bicycle travel.
RECREATION	
Day Use Areas	Land or premises, other than Participant Sports Facilities, designated by the owner to be used by individuals or the general public, for a fee or otherwise, for outdoor recreation purposes on a daily basis such as regional and local parks, picnic sites, vista points, snow play areas, rafting facilities, and playgrounds.
Outdoor Recreation Concessions	Facilities that are dependent on the use of outdoor recreation areas, such as onsite food and beverage sales, onsite recreational equipment rentals, parasailing, rafting, and onsite recreation instruction. The use also includes outfitter, guide service establishments, or rental service whose base facilities are located on or near a recreation area, such as horse packing outfitters, snowmobiling outfitters, or bike rental facilities. This use includes offsite rental of sporting equipment whose base facilities is a commercial use. Outside storage or display is included as part of the use.
Participant Sport Facilities	Facilities for various outdoor sports and recreation including, but not limited to, tennis courts, swim and tennis clubs, ice skating rinks, and athletic fields (non-professional). Outside storage or display is included as part of the use.
Recreation Centers	Indoor recreation establishments operated by a public or quasi-public agency providing indoor sports and community services, such as swimming pools, ice skating rinks, multi-purpose courts, weight rooms, and meeting and crafts rooms.
Riding and Hiking Trails	Planned paths for pedestrian, bike, and equestrian traffic, including trail heads.
Visitor Information Centers	Nonprofit establishments providing visitor information and orientation.
RESOURCE MANAGEMENT	
Forest and Timber Resource Management	Activities associated with the protection, restoration, and management of timber such as reforestation, regeneration harvest, sanitation salvage cut, selection cut, special cut, thinning and timber stand improvement.
Vegetation Resource Management	Activities associated with the protection, restoration, and management of vegetation including fire detection and suppression, fuels treatment and management, insect and disease suppression, prescribed fire and burn management.
Water Quality Improvements and Watershed Management	Activities associated with the protection, restoration, and management of watersheds including erosion control, runoff control and stream environment zone restoration.
Wildlife and Fisheries Resource Management	Activities associated with the protection, restoration, and management of wildlife and fisheries resources.
Range Management	Activities associated with range management including range pasture management, range improvement and grazing.
OPEN SPACE	
Allowed in all areas of the Region	Land with no land coverage and maintained in a natural condition or landscaped condition consistent with best management practices, such as deed-restricted properties and designated open space area.

Community Noise Equivalent Level

The maximum community noise equivalent level (CNEL) for this Area Plan are as follows:

TABLE 3 COMMUNITY NOISE EQUIVALENT LEVEL (CNEL)									
DISTRICT	TC-C	TC-MUC	TSC-G	CMX-S	TC-NP	TC-HC	OS	US 50	SR 89
CNEL	65	65	65	65	55		55	65	65

Development Standards

The development standards for the Tahoe Valley Area Plan are intended to provide physical development requirements to implement the Plan’s vision, goals, and policies; implement the goals and policies of the adopted General Plan and the TRPA Regional Plan, and enable the Tahoe Valley Area Plan to be found as a conforming Area Plan by the TRPA Governing Board. The standards were developed based on a review of the TRPA Regional Plan Update policies, the TRPA Area Plans Framework, the City General Plan, the Draft Tahoe Valley Community Plan, and the City of South Lake Tahoe Code and Design Manual.

Form-based coding techniques are used for development standards. The standards of each district lists density and lot coverage limits, lot dimensional requirements, building location standards, height requirements, parking and access provisions, and minimum open space and landscaping requirements. Furthermore, substitute design standards address building orientation and design, pedestrian access, and bicycle parking. Buildings are required to be oriented toward and include a public entrance on a public street and the Tahoe Valley Greenbelt. Building design standards are intended to avoid bulky and “box-like” buildings and encourage appropriate architectural features.

Tables 4 through 9 prescribe the development standards for the Area Plan. Individual letters in parentheses refer to additional regulations that directly follow the table. The numbers in each illustration below refer to corresponding regulations in the “#” column in the associated table.

LOT AND DENSITY

Maximum allowed densities are consistent with the limits set in the Regional Plan Update. The Regional Plan Update allows maximum densities of 25 units per acre for multi-family residential development and 40 units per acre for tourist accommodation units with the adoption of an Area Plan. Existing lot size and dimension requirements are proposed to be carried forward. Lot coverage standards reflect the allowances established in the Regional Plan Update.

TABLE 4 DEVELOPMENT STANDARDS									
DISTRICT	TC-C	TC-MUC	TC-G	TC-NP	TC-HC	CMX-S	OS		
Maximum Density	Mobile Home Dwelling	-	-	8	8	-	8	-	
	Multiple Family Dwelling (units/acre)	25	25	25	25	25	25	-	
	Multi-Person Dwelling (persons/acre)	-	-	-	25	25	25	-	
	Nursing and Personal Care (persons/acre)	-	-	-	25	25	-	-	
	Residential Care (persons/acre)	-	-	-	25	25	-	-	
	Single Family Dwelling (parcels less than one acre)	1 unit per parcel			2 units per parcel, provided one unit is an authorized secondary residence (A)	1 unit per parcel	1 unit as part of a mixed use		-
	Single Family Dwelling (parcels greater than or equal to one acre)	2 units per parcel, provided one unit is an authorized secondary residence							-
	Employee Housing	As per the limitations set forth for multi-family residential uses above			-	As per the limitations set forth for multi-family residential uses above			-
	Bed and Breakfast Facilities (units/acre)	-	-	10	10	-	-	-	
	Hotel, Motel, Other Transient Dwelling Units (units/ acre)	40	40	40	40	40	-	-	
	Time Sharing	40	40	40	-	-	-	-	
Minimum Lot Size (sq ft)									
Commercial/Public Service	10,000(B)	10,000(B)	10,000(B)	10,000(B)	10,000(B)	10,000(B)	-		
Residential	6,000(B, C)	6,000(B, C)	6,000(B, C)	6,000(B, C)	6,000(B, C)	6,000(B, C)	-		
Minimum Lot Width (ft)									
Commercial/Public Service	80(B)	80(B)	80(B)	80(B)	80(B)	80(B)	-		
Residential	60 (B)	60 (B)	60 (B)	60 (B)	60 (B)	60 (B)	-		
Minimum Lot Depth (ft)	100(B)	100(B)	100(B)	100(B)	100(B)	100(B)	-		

TABLE 4 DEVELOPMENT STANDARDS								
DISTRICT		TC-C	TC-MUC	TC-G	TC-NP	TC-HC	CMX-S	OS
Land Coverage	Maximum Land Coverage-Base + Transferred (% of project area located within land capability districts 4-7)	70 percent of the project area that is located within Land Capability Districts 4 through 7, inclusive. Coverage in other land capability districts are regulated by TRPA Code Section 30. (D)(F)					(E)(F)	See TRPA Code Section 30.(F)
	Alternative Comprehensive Land Coverage Management System	(G)						

- A. **Secondary Units.** Lots less than an acre in size in the Town Center Neighborhood Professional District may have an authorized secondary unit pursuant to the following:
1. The unit is not intended for sale and may be rented for residential uses only.
 2. The lot contains an existing single-family dwelling.
 3. The second unit is either attached to the existing dwelling and located within the living area of the existing dwelling or detached from the existing dwelling and located on the same lot as the existing dwelling.
 4. The total area of floor space for a secondary unit shall not exceed 640 square feet.
 5. One covered or uncovered parking is required for the secondary unit.
 6. Height, building setbacks, minimum lot size, architectural review and other zoning requirements generally applicable to residential construction in the zone in which the property is located shall apply.
 7. Secondary units shall have the colors, materials and textures and architecture similar to the main dwelling unit.
 8. A secondary unit shall be considered a residential unit subject to TRPA’s residential allocation limitations and transfer provisions.
 9. A secondary unit shall be subject to the land coverage and Best Management Provisions of the TRPA Code.
- B. **Reduced Minimum Lot Size and Dimensions.** Smaller lots may be approved as part of a condominium, or other airspace subdivision pursuant to City Code Section 6.55.190
- C. **Mobile Home Parks.** Minimum lot size for mobile home parks is 10 acres pursuant to City Code Section 6.55.180.
- D. **Method of Transferring Coverage.** Land coverage shall be transferred to eligible parcels and eligible uses, in accordance with Sections 30.4.2 and 30.4.3 of the TRPA Code.

E. **Commercial and Mixed-Use Facilities in the Commercial Mixed-Use Service District.**

The maximum land coverage (base coverage plus transferred coverage) shall be as follows:

1. For parcels upon which there is no development legally existing as of July 1, 1987, maximum land coverage shall be 70 percent of the project area that is located within Land Capability Districts 4 through 7, inclusive; and
2. For parcels upon which there legally exists development as of July 1, 1987, maximum land coverage shall be 50 percent of the project area that is located within Land Capability Districts 4 through 7, inclusive; and
3. Land coverage shall be transferred to eligible parcels and eligible uses, in accordance with Section 30.4.3 of the TRPA Code.

Multi-Residential Facilities (Five or More Units), Public Service Facilities, and Recreation Facilities. The maximum land coverage (base coverage plus transferred coverage) allowed on a parcel for tourist accommodation facilities, multi-residential facilities of five units or more, public service facilities, and recreation facilities shall be limited to 50 percent of the project area that is located within Land Capability Districts 4 through 7, inclusive. Subdivisions into parcels of four or fewer residential units are not eligible for the maximum land coverage permitted under this subparagraph unless a deed restriction requiring maintenance of the units as affordable or moderate income housing, as defined by TRPA, is approved by TRPA and recorded against the property.

F. **Linear Public Facilities and Public Health and Safety Facilities.** The maximum land coverage for linear public facilities and public health and safety facilities is limited to the minimum amount needed to achieve their purpose, except as provided for non-motorized public trails in subsection 30.4.6.D.3 of the TRPA Code. Such transfers may be permitted, provided TRPA makes the following findings:

1. The project complies with required findings for additional public service facilities if required pursuant to Section 50.8;
2. There is no feasible alternative that would reduce land coverage;
3. The project, because of its unusual configuration or service requirement, requires special consideration;
4. The facility primarily serves the needs of persons other than those who are or will be residents of the lands in question, or the owners of the land in question;
5. Coverage shall be transferred pursuant to section 30.4.3 of the TRPA Code except for the following use:
 - a. Uses defined as a hospital that legally exists on the effective date of this area plan (El Dorado County APNs 023-081-03 and 023-081-09), coverage shall be transferred pursuant to following transfer provisions:
 - i. Coverage transferred up to 70 percent shall be transferred pursuant to section 30.4.3 of the TRPA Code.
 - ii. Coverage greater than 70 percent shall be transferred at a ratio of 1:1 from sensitive lands and at a ratio of 2.5:1 from non-sensitive lands up the minimum amount needed.

- iii. Coverage transferred from non-sensitives lands shall be transferred from parcels that have not installed permanent BMPs.

- G. **Alternative Comprehensive Land Coverage Management System:** Property owners within the Town Center Core District, in coordination with the City and TRPA, may develop alternative comprehensive coverage management systems as alternatives to the parcel-level coverage requirements outlined in subsections 30.4.1 and 30.4.2 of the TRPA Code of Ordinances, provided that the alternative system complies with the provisions of subsection 13.5.3.B.1: *Alternative Comprehensive Coverage Management Systems* of the TRPA Code of Ordinances and is adopted as part of this Area Plan.
- H. **Bonus Coverage Transfer Match** Facilities that transfer or remove coverage from designated sending areas may earn bonus coverage, subject to availability, from the City’s coverage pool. Bonus coverage may be earned pursuant to the transfer ratios in the following table:

Sending Area	Bonus Coverage Earned (per sq. ft.)
Stream Restoration Plan Area	1
Tahoe Valley Greenbelt and associated SEZs	1
Other SEZs in the Upper Truckee Watershed Hydrologically Related Area located within the City Limits	0.5

BUILDING PLACEMENT

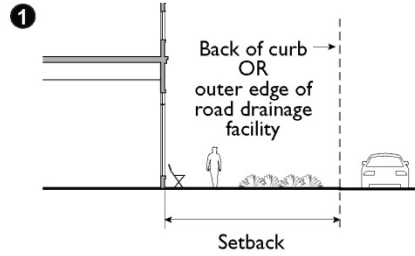
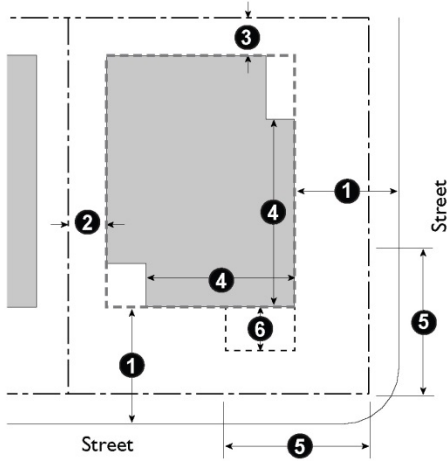
Minimum building setbacks and street frontage improvements are established to create walkable and bikeable districts. Along Highway 50, Lake Tahoe Boulevard, and State Route 89, buildings are required to be setback 25 feet from the back of the curb. The setback area is to consist of a 10 foot sidewalk/use area in which a minimum of six feet clear must be reserved for pedestrian movement and the other area must be improved as part of a wider sidewalk or provide outdoor dining/seating or display area or landscaping.

Along Third Street and Tahoe Keys Blvd, buildings are required to be setback 20 feet. The setback is to consist of a five-foot sidewalk, while the remaining area would be improved as part of a wider sidewalk or provide outdoor dining/seating or display area or landscaping.

Along all other street frontages, with exceptions as noted in the standards, buildings are required to be setback 20 feet.

Standards require buildings to be built at this setback line for a certain percentage of the linear street frontage in order to establish a consistent and engaging street frontage and improve the pedestrian experience. Additional regulations require pedestrian-oriented street frontage improvements such as the provision of street trees and lighting. Awnings, overhangs, and other elements to provide a covered walkway, public plaza, or outdoor eating area are allowed to project into the setback area.

**TABLE 5
BUILDING PLACEMENT STANDARDS**

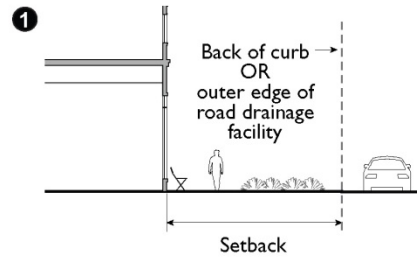
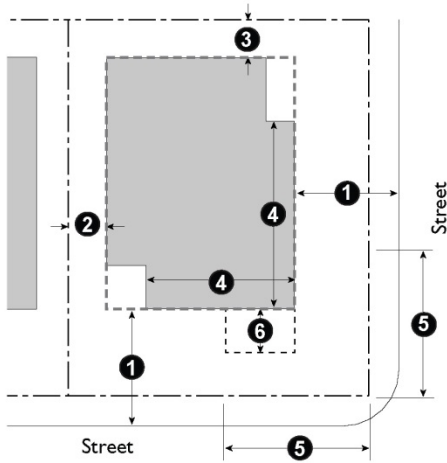


KEY
 - - - Property Line
 - - - Setback Line

Note: All properties are subject to snow easement requirements contained in Section 4 of the *City of South Lake Tahoe Public Improvement and Engineering Standards*.

DISTRICT	TC-C	TC-MUC	TC-G	CMX-S	TC-NP	TC-HC	#
Minimum Setbacks (ft.)							
Street Frontage, Hwy 50 and SR 89 and Lake Tahoe Blvd (measured from back of curb or outer edge of road or drainage improvements if no curb)		25' must include a 10 ft. sidewalk/use area with a minimum 6 ft. wide clear sidewalk for pedestrian movement and the balance of the area improved as part of wider sidewalk, outdoor dining/seating area, or landscaping.(A)	25', must include a sidewalk and split rail fence if parking is located between street frontage and a building (A)		-		1

**TABLE 5
BUILDING PLACEMENT STANDARDS**

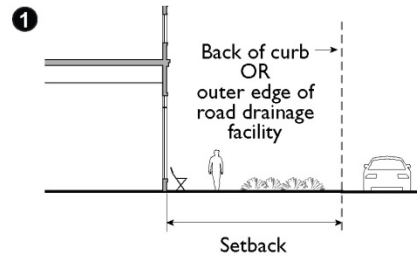
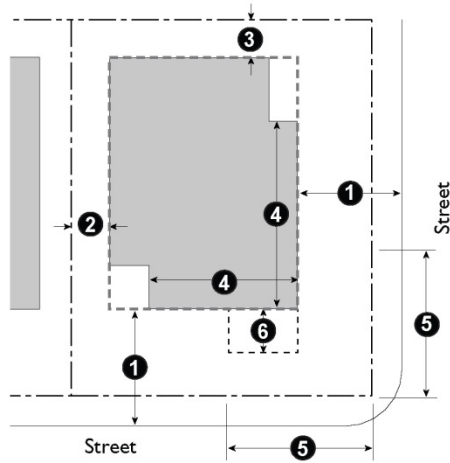


KEY
 - - - Property Line
 - - - Setback Line

Note: All properties are subject to snow easement requirements contained in Section 4 of the City of South Lake Tahoe Public Improvement and Engineering Standards.

DISTRICT	TC-C	TC-MUC	TC-G	CMX-S	TC-NP	TC-HC	#
Street Frontage, 3 rd Street (measured from back of curb or outer edge of road or drainage improvements if no curb)	-	20', must include a sidewalk and the balance of the area is required to be improved as part of wider sidewalk, outdoor dining/seating area, or landscaping. (A)	-	20', must include a sidewalk and the balance of the area is required to be improved as part of wider sidewalk, outdoor dining/seating area, or landscaping. (A)			1
Street Frontage, all other streets (measured from back of curb or outer edge of road or drainage improvements if no curb)	20'(A)						1
Interior Side	Nonresidential Uses: 0; 10' adjacent to residential district Residential Uses: 10'				10'		2
Rear	Nonresidential Uses: 0; 10' adjacent to residential district Residential Uses: 10'				10'		3
Minimum Building Frontage at Street Setback Line (% of linear street frontage)	75'(B)	50'(B)	-	30'(B)	-		4
Corner Build Area (ft)	50'(C)	50'(C)	-	-	-		5
Maximum Projection into	Awnings and overhangs to provide a covered walkway,					n/a	6

**TABLE 5
BUILDING PLACEMENT STANDARDS**



KEY

- Property Line
- - - Setback Line

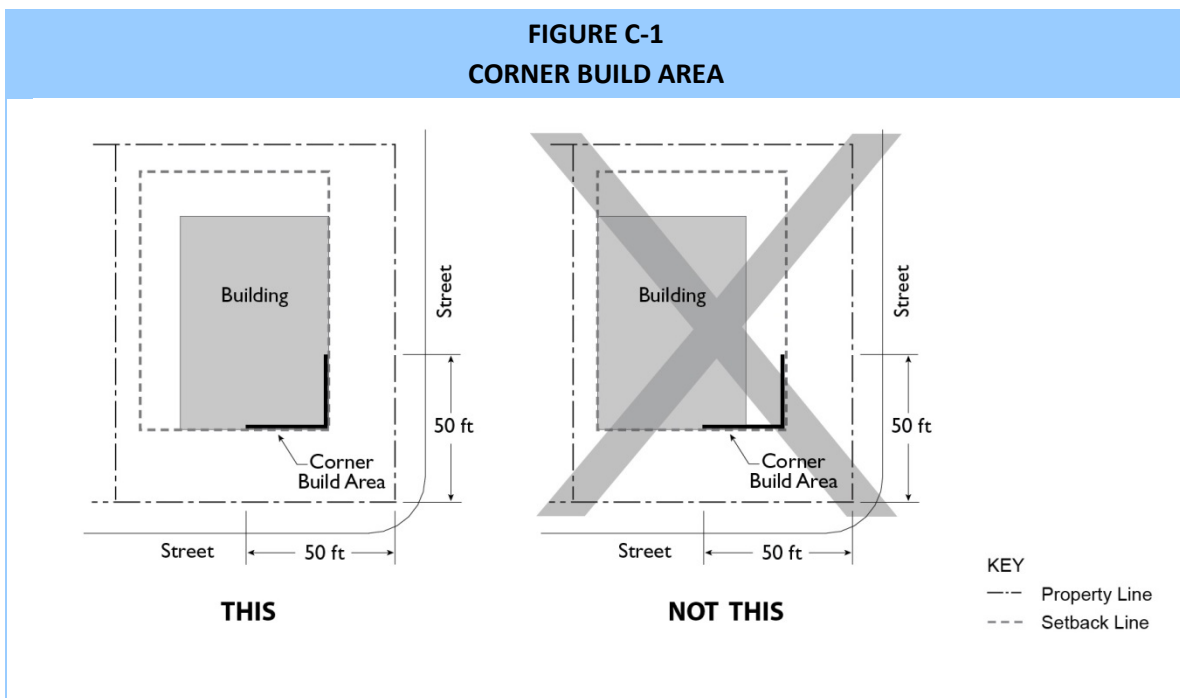
Note: All properties are subject to snow easement requirements contained in Section 4 of the City of South Lake Tahoe Public Improvement and Engineering Standards.

DISTRICT	TC-C	TC-MUC	TC-G	CMX-S	TC-NP	TC-HC	#
Setback	public plaza, or outdoor eating area may project up to 10 ft. into the required setback.						

- A. **Street Frontage Improvements.** New development shall provide street frontage improvements in accordance with the following:
1. **Street Trees.** A minimum of two trees and four shrubs shall be planted for every 50 linear feet of street frontage.
 2. **Lighting.** Pedestrian scaled lighting on sidewalks and pathways consistent with City pedestrian lighting standards. Lighting standards that include attachments from which banners identifying the area or announcing community events may be hung are encouraged.
 3. **Alternatives through Director Review.** Alternatives to the minimum setback requirement for the four parcels located at the South “Y” intersection may be approved if the Development Services Director finds that:
 - a. The increased setback is needed to maintain a sun angle plane to reduce icing on US 50, SR 89 and public sidewalks, or
 - b. The increased setback is needed to maintain visual open space, visual access, or preserve or increase views of the mountain ridgelines.

Request to deviate from this standard through the Alternative Director Review process will require a noticing of affected property owners and a public hearing before the Zoning Administrator.

- B. **Build-to Line.** Buildings shall be constructed at the required setback for the percent of linear street frontage identified in Table 5. This requirement may be modified or waived by the Director of Development Services upon finding that:
1. Entry courtyards, plazas, entries, or outdoor eating areas are located between the build-to line and building, provided that the buildings are built to the edge of the courtyard, plaza, or dining area; or
 2. The building incorporates an alternative entrance design that creates a welcoming pedestrian entry feature facing the street.
- C. **Corner Build Area.** Buildings must be located at the point of intersection of the two setback lines at street corners, and must occupy the street frontage at the setback line for at least 50 feet from the street corner property line. Public plazas may be at the street corner provided buildings are built to the edge of the public plaza. Where a parcel is bounded by more than two streets, this requirement only applies to the primary street frontage and one side street frontage. This requirement may be modified or waived by the Director of Development Services upon finding that:
1. Where buildings placed on a corner would negatively impact a designated scenic view, visual open spaces, visual access or views of mountain ridgelines.; or
 2. Where building placed on a corner would negatively affect the sun angle plane to reduce icing on US 50, SR 89 and public sidewalks, or

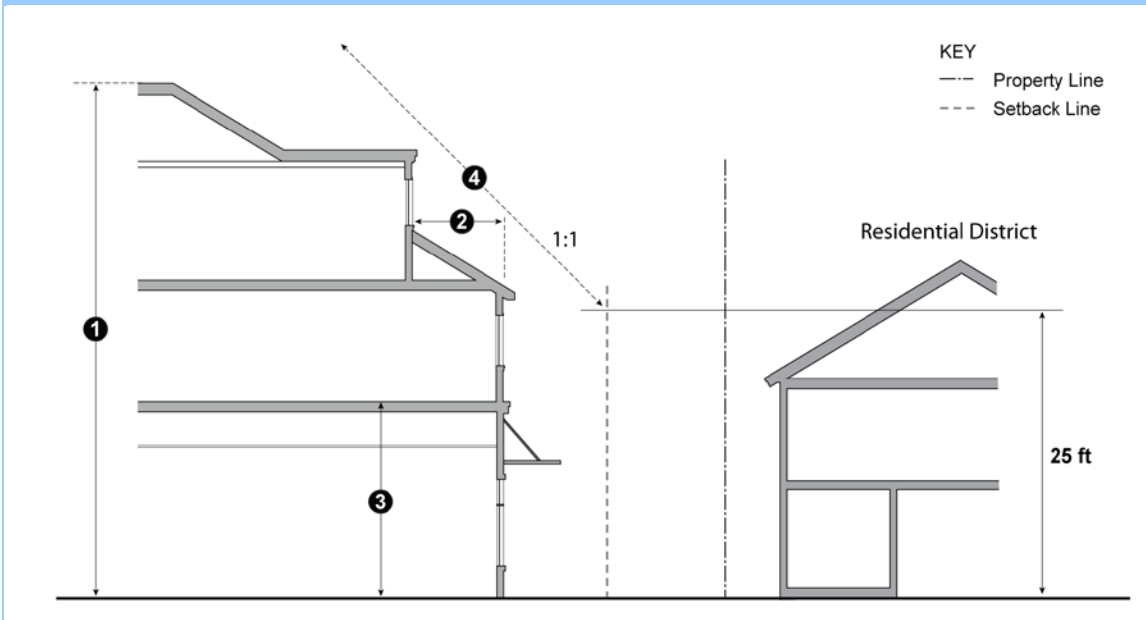


HEIGHT

Maximum height limits proposed in the Regional Plan Update have been refined to reflect the nature of development in each sub district. Buildings are required to step back within a daylight plane along street frontages and adjacent to residential areas to address massing, protect

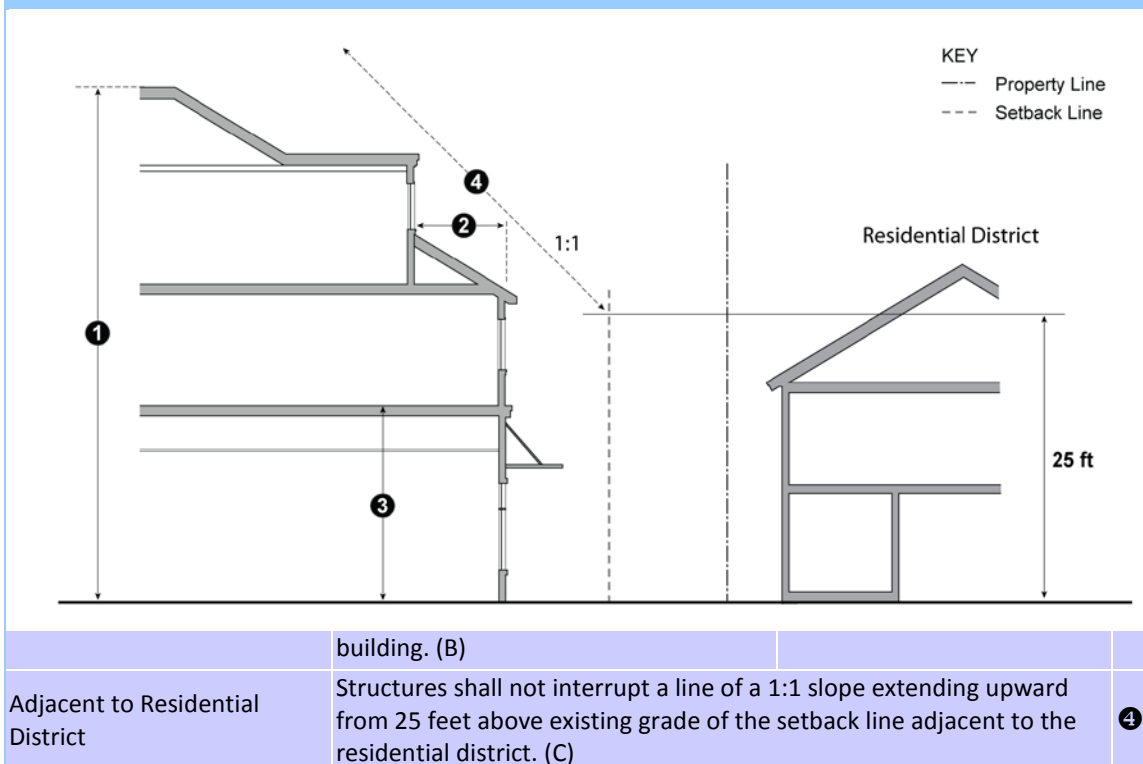
viewsheds, and allow light and air, and limit winter shading in public areas and adjacent residential areas. Minimum heights are proposed for ground floors in order to establish a consistent building frontage along the street and to accommodate a wide range of uses. Roofs are required to be sloped to support alpine character in design. Limited areas of flat roofs are allowed as long as they are not visible from the public right-of-way.

**TABLE 7
HEIGHT AND ROOF STANDARDS**



DISTRICT	TC-C	TC-MUC	TC-G	CMX-S	TC-NP	TC-HC	#
Building Height Maximum (feet)	45'	42', 36' for properties with Hwy 50 frontage east of Tahoe Keys Blvd.	36'	See TRPA Code Section 37.4	36'	42'	①
Building Height Maximum (stories)	3(A)	3(A)	2(A)	-	2(A)	3(A)	①
Building Stepbacks	10' from second story building face						
Upper Story along Street Frontage (ft.), applicable above the second story	10' from second story building face						②
Ground Floor Minimum Height, Non-Residential Uses (ft)	15'	15'	15'		-		③
Roof Slope	5:12 to 12:12 (B)						
Roof Height	The height of the sloped roof must be a minimum 40% of the height of the				-		

**TABLE 7
HEIGHT AND ROOF STANDARDS**



- A. **Viewshed Protection.** To ensure compatibility with adjacent uses and viewshed protection, buildings must not project above the forest canopy, ridge lines, or otherwise detract from the viewshed and the review authority must make findings 1, 3, 5, and 9 of Section 37.7 of the TRPA Code of Ordinances in approving any project consisting of three or more stories (see Appendix B).
- B. **Roof Design.** Buildings shall have a definitive “top” that steps, slopes, or otherwise breaks the rectangular form of the building. Dormer windows and other roof appurtenances (chimneys, towers, or other special features) are encouraged within the sloping roof area. A portion of the roof area may be flat. Flat roof area is limited to 50 percent of the building footprint and shall not be within the predominant view of the public right-of-way. Covered parking and parking structures are exceptions and may be permitted to have flat roofs, but must be concealed through architectural design or landscaping. Rooftop equipment shall be concealed from view and/or integrated within the building architecture.
- C. **Transition Height.** To ensure compatibility with adjacent residential uses, buildings that are permitted additional height shall have additional buffering in addition to the required setback. Provisions may include, but are not limited to the following:
- Reduced height
 - Increase side yard or rear yard setback

- Building orientation
 - Landscaping buffering with oversized trees
- D. **Chimneys and Other Rooftop Appurtenances.** Chimneys, flues, vents, antennas, and similar appurtenances may be erected to a height ten percent of the otherwise permissible height maximum height of a building, or a height of six feet, whichever is less.

BUILDING FORM

Building form standards limit blank walls, require a minimum amount of building transparency (i.e. windows and doors providing views into work areas, display areas, sales areas, or similar active spaces) along street frontages, and require the modulation of building facades to create visual interest and engage pedestrians.

TABLE 8 BUILDING FORM STANDARDS							
DISTRICT	TC-C	TC-MUC	TC-G	CMX-S	TC-NP	TC-HC	#
Maximum Length of Blank Wall	25(A)	25(A)	25(A)	-	-		①
Required Transparency (% of building wall area)	75(A)	75(A)	60(A)	-	-		②
Building Modulation	Any building over 50 feet wide shall be broken down to simulate a series of buildings no wider than 50 feet each				-		

A. **Building Transparency and Blank Wall Limits; Required Openings for Non-Residential Uses.** Exterior walls facing and within 20 feet of a front or street side property line or pedestrian walkway shall include windows, doors, or other openings for at least the percentage stated in Table 8 of the building wall area located between 2.5 and seven feet above the level of the sidewalk or adjacent ground grade. No wall may run in a continuous horizontal plane for more than 25 feet without an opening or transparency on the ground floor of a building.

1. **Design of Required Openings.** Openings fulfilling this requirement shall have transparent glazing and provide views into work areas, display areas, sales areas, lobbies, or similar active spaces, or into window displays that are at least three feet deep.

2. **Exceptions for Parking Garages.** Multi-level garages are not required to meet the building transparency requirement of this subsection. Instead, they are subject to the building setback standards in Table 5, Building Placement Standards and the following standard:
 - a. *Parking Garage Rooftop Planting.* Uncovered parking on the top level of a parking structure shall have rooftop planters with a minimum dimension of 24 inches along perimeter walls of the top floor that face public streets or other public areas.
3. **Alternatives through Director Review.** Alternatives to the building transparency requirement may be approved if the Development Services Director finds that:
 - a. The proposed use has unique operational characteristics with which providing the required openings is incompatible, such as in the case of a cinema or theater; and
 - b. Street-facing building walls will exhibit architectural relief and detail, and will be enhanced with landscaping in such a way as to create visual interest at the pedestrian level.

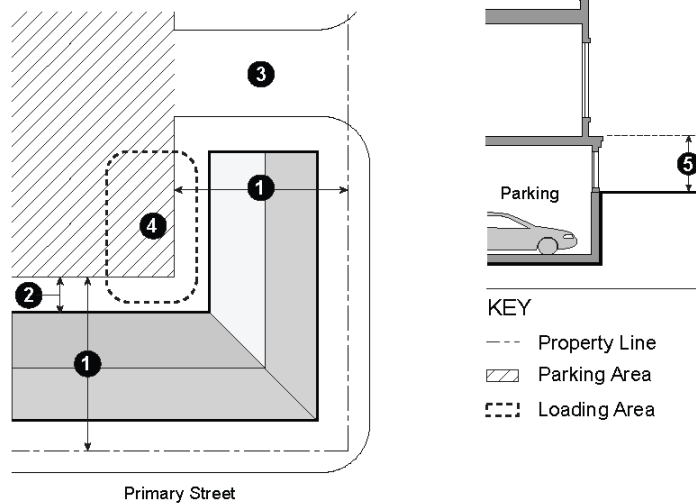
Request to deviate from this standard through the Alternative Director Review process will require a noticing of affected property owners and a public hearing before the Zoning Administrator.

PARKING, LOADING, LANDSCAPING AND OPEN SPACE

The proposed parking and loading location standards are intended to enhance walkability and reduce the visual dominance of surface parking lots in the area by setting them back from the street. Parking in each district is required to be setback from the back of curb with access from a side street or alley wherever possible. To support a “park once” atmosphere where visitors park once and patronize multiple businesses, new parking facilities are to be designed to accommodate cross-access to/from adjacent properties to allow parking areas to become joint use facilities even if initially serving only one development.

Standards are established for the minimum amount of open space and landscaping. Residential open space is required in all residential and mixed-use development. A key component of the vision for the Tahoe Valley area is to provide areas for public gathering. To implement this vision, public open space is required with substantial developments (developments over 50,000 square feet of nonresidential floor area on sites greater than two acres in size) in the TSC-C district.

**TABLE 9
PARKING, LOADING, LANDSCAPING, AND OPEN SPACE STANDARDS**



DISTRICT	TC-C	TC-MUC	TC-G	CMX-S	TC-NP	TC-HC	#
Minimum Setback (measured from back of curb or outer edge of road or drainage improvements if no curb)	25(A), Parking shall be located underground, behind a building, or on the interior side or rear of the site.			20(A)	20 (A)		①
Setback from Buildings and Public Plazas (ft.)	Above ground parking shall be setback from buildings and public plazas with a walkway and/or landscaping.			-	-		②
Access Location	From adjacent parking areas, side street or alley wherever possible						③
Shared Access	See additional regulations (B)						③
Curb Cuts	Minimized and in areas least likely to affect pedestrian circulation.						
Loading/Service Areas	Side or rear of lot; must be screened from public ROW						④
Underground Parking Visibility	Maximum height of underground parking area visible from the street (parking podium) is 3 feet from finished grade.						⑤
Parking, Driveway and Loading Standards	See South Lake Tahoe City Code, Chapter 5, Land Use Development Standards, Article VIII. Parking, Driveway and Loading Spaces.						
Minimum Residential Open Space (sq. ft. per unit)	100(C)	100(C)	100(C)	-	150(C)		
Minimum Public Open Space, sites two acres or more in size	(D)	-	-	-	-		
Minimum Amount of Landscaping (% of site)	10	10	10	5	10		

A. **Limitations on Location of Parking.** Parking may be located within the required setback, subject to the following requirements.

1. **Underground and Partially Submerged Parking.** Parking completely or partially underground, may be located within the required setback.
 2. **Surface Parking.** Above ground surface parking may be located within the required setback with Development Services Director approval provided:
 - a. Buildings are built close to the public sidewalk to the maximum extent feasible;
 - b. The parking area is screened along the public right-of-way with public art, hedge, trellis, and/or landscaping; and
 - c. The site is small and/or constrained such that locating parking outside the required setback is not feasible.
- B. **Shared Access.** To encourage shared parking and shared access points on public streets, new parking facilities shall be designed to accommodate cross-access to/from adjacent properties to allow parking areas to become joint use facilities even if initially serving only one development. When cross-access for vehicles is deemed impractical by the Development Services Director, the requirement for cross-access may be waived if bicycle and pedestrian connections are provided between adjacent development.
- C. **Residential Open Space.** Residential open space may be common or private open space. Private areas typically consist of balconies, decks, patios, fenced yards, and other similar areas outside the residence. Common areas typically consist of landscaped areas, walks, patios, swimming pools, barbecue areas, playgrounds, turf, or other such improvements as are appropriate to enhance the outdoor environment of the development. Landscaped courtyard entries that are oriented towards a public street are considered common areas. All areas not improved with buildings, parking, vehicular accessways, trash enclosures, and similar items shall be developed as common areas.
1. **Minimum Dimensions.**
 - a. *Private Open Space.* Private open space located on the ground level (e.g., yards, decks, patios) shall have no horizontal dimension less than 10 feet. Private open space located above ground level (e.g., balconies) shall have no horizontal dimension less than six feet.
 - b. *Common Open Space.* Minimum horizontal dimension of 20 feet.
 2. **Usability.** A surface shall be provided that allows convenient use for outdoor living and/or recreation. Such surface may be any practical combination of lawn, garden, flagstone, wood planking, concrete, or other serviceable, dust free surfacing. The maximum slope shall not exceed 10 percent. Seating areas and plazas should be located in areas with good solar exposure.
 3. **Accessibility.**
 - a. *Private Open Space.* The space shall be accessible to only one living unit by a doorway to a habitable room or hallway.

- b. *Common Open Space.* The space shall be accessible to all the living units on the lot.
- D. **Public Open Space.** Developments with 50,000 square feet or more of nonresidential floor area on sites two acres or more in size shall provide public open space according to the following standards:
1. **Minimum Area.** Forty square feet for every 1,000 square feet of nonresidential floor area for the first 100,000 square feet of floor area, plus 20 square feet for every 1,000 square feet of nonresidential floor area over 100,000 square feet.
 2. **Minimum Dimensions.** Minimum horizontal dimension of 40 feet.
 3. **Usability.** A surface shall be provided that allows convenient use for outdoor living, recreation, and public gathering. Such surface may be any practical combination of high quality plant and hardscape materials such as bricks, stone, concrete, permeable paving, or tile. Surfaces shall be sloped for positive drainage and constructed to withstand snow removal and de-icing maintenance. The maximum slope shall not exceed 10 percent. Seating areas and plazas should be located in areas with good solar exposure.
 4. **Accessibility.** On-site public space shall be visible from a public street and from on-site areas normally frequented by nearby retail uses.
 5. **Amenities.** On-site public space shall include benches or other seating. Amenities shall be included that enhance the comfort, aesthetics, or usability of the space, including but not limited to trees and other landscaping, shade structures, drinking fountains, water features, public art, trash receptacles, information kiosks, or performance areas.

Substitute Design Standards

Substitute Design standards address site design and amenities, building orientation and design, pedestrian access, bicycle parking, landscaping, lighting, signage, parking, driveway and loading spaces.

Buildings are required to be oriented toward and include a public entrance on a public street. Building design standards are intended to avoid bulky and “box-like” buildings and encourage appropriate architectural features.

On-site access and circulation standards require a system of pedestrian walkways that connect all buildings on a site to each other, to on-site parking areas, and open space or pedestrian amenities. Regular connections are to be provided to the public sidewalk as well as to adjoining commercial and residential areas. Walkway standards establish requirements for minimum width, paving, grade separations, bollards, landscaping, lighting, or other means to clearly delineate pedestrian areas for both day and night use.

Standards are for the amount, design, and location of bicycle parking is incorporated. The standards have different requirements for long- and short-term bicycle parking that reflect the varying needs of visitors, locals, and employees.

Landscape standards reinforce the resort destination experience in the Area Plan by guiding the desired design of planting and hardscape materials while providing for opportunities to accommodate stormwater runoff.

Lighting standards for streets and exterior spaces are necessary to provide safety and security as well as provide, in limited areas, the night lighting that will allow for a festive atmosphere enhancing the qualities of an active civic place.

All projects within the Tahoe Valley Area Plan shall meet the standards listed below and the standards in the Citywide Design Standards and the Parking, Driveway and Loading Space Standards in Chapter 5 of the City Code and the Sign Standards in Chapter 25 of the City Code. Should a conflict occur between the standards of this Area Plan and the standards of the City Code, the standards of the Area Plan shall apply. All regulations in the TRPA Code of Ordinances shall remain in effect unless superseded by the provisions of this Area Plan.

A. Site Design and Amenities.

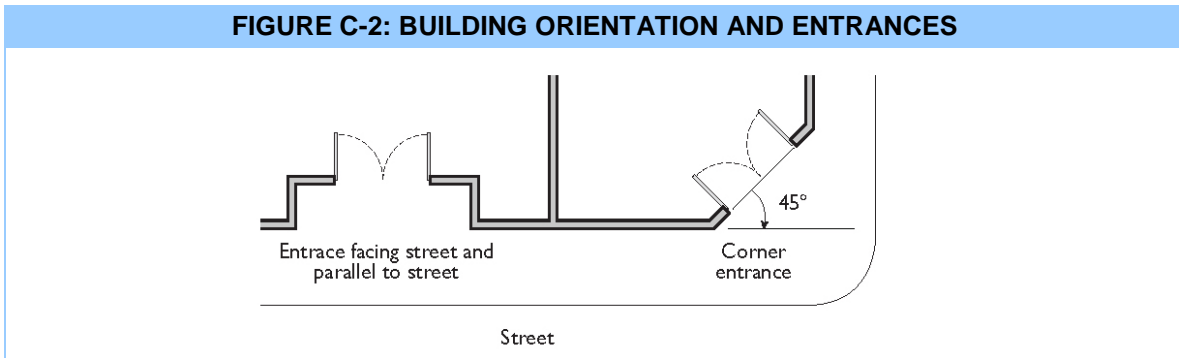
1. Site design shall consider adjoining properties to avoid creating nuisances such as noise, light intrusion, invasion of privacy, and traffic, particularly when development is adjacent to sensitive uses such as residential development.
2. Outdoor parking areas shall be designed to decrease visual impacts associated with large expanses of pavement and vehicles. They can be divided into smaller parking areas and/or include landscaping within and around them. Consider using perimeter landscaping and landscaped islands as bio-swales with a lower grade than the paved surface to reduce irrigation requirements and meet stormwater retention requirements.
3. Site design shall consider pedestrian safety during snow conditions. Sidewalks, plazas and other pedestrian areas should be designed for maximum solar exposure, with snow melt systems, or for efficient snow removal.
4. Trash and recycling receptacles shall be provided and conveniently located in areas with heavy pedestrian use.
5. Ski and snowboard racks shall be provided in areas where there will be a need to temporarily store them. Racks should be located at areas adjacent to ski related facilities, public areas, transit stops, and destination locations.
6. For developments with multiple commercial or service tenants, include directional/directory maps on-site to orient and direct pedestrians.
7. Buildings should be sited to maximize views from public streets.

B. Building Orientation and Entrances.

1. Primary building entrances for all buildings shall be located facing a public street.
2. Building entrances shall be emphasized with special architectural and landscape treatments, shall provide covered overhead protection in the form of recessed arcades or protruding canopies, and shall ensure protection from unloading roof snow.

3. Entrances located at corners shall generally be located at a 45 degree angle to the corner and shall have a distinct architectural treatment to animate the intersection and facilitate pedestrian flow around the corner. Different treatments may include angled or rounded corners, arches, and other architectural elements. All building and dwelling units located in the interior of a site shall have entrances from the sidewalk that are designed as an extension of the public sidewalk and connect to a public sidewalk.
4. Entrances to residential units shall be physically separated from the entrance to the permitted commercial uses and clearly marked with a physical feature incorporated into the building or an appropriately scaled element applied to the façade.

FIGURE C-2: BUILDING ORIENTATION AND ENTRANCES



C. **Building Design and Articulation.** Buildings shall provide adequate architectural articulation and detail to avoid a bulky and “box-like” appearance and materials and colors that reinforce the Regional’s natural and mountain identity.

1. ***Exterior Building Materials and Colors.***

- a. A unified palette of quality materials shall be used on all sides of buildings.
- b. Colors shall be used to help delineate windows and other architectural features to increase architectural interest.
- c. A variety of natural and natural-appearing materials (e.g., wood siding, rock wainscoting, rough sawn timber, log timbers, natural stained lumber) should provide contrast on building facades. Stucco should be used sparingly and blended with the natural materials to provide interest and variety. Rough textured materials are preferred.
- d. Natural earth tone colors (e.g, browns, greens, dark tans) should be chosen to blend in with the setting and to minimize reflectivity. Bright colors should be used for accent only and should be applied to a maximum of 10 percent of the building façade. For all structures visible from the Scenic Threshold Travel Routes (i.e., US 50, SR 89, and Pioneer Trail) or designated Class I or II bike paths, colors shall be consistent with the Munsell Color palette set forth in the TRPA Approved Earth Tone Colors.

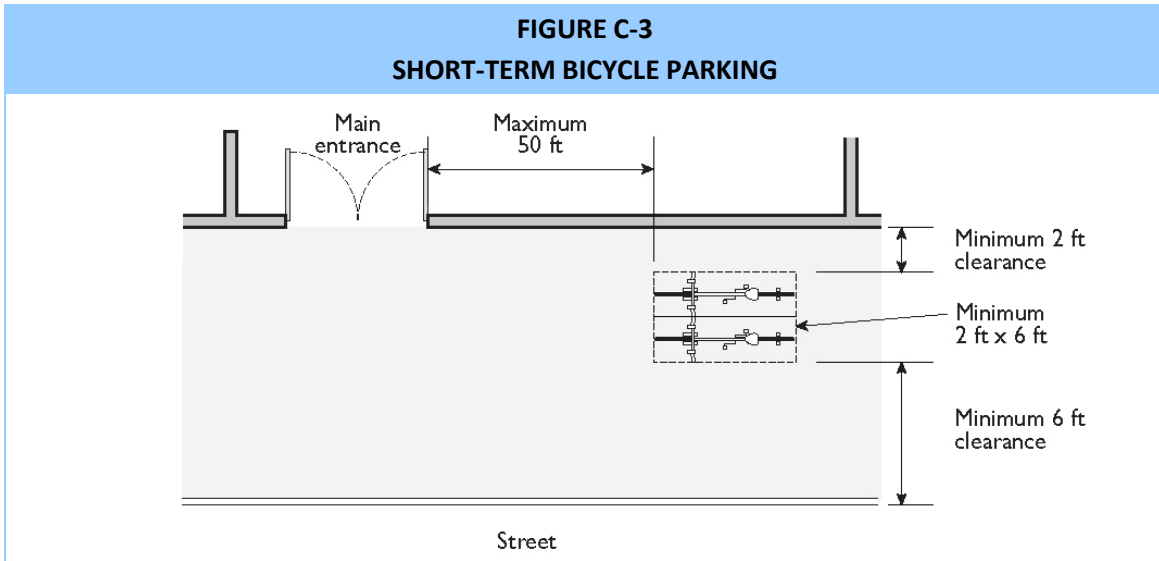
- e. Roofs, including mechanical equipment and skylights, shall be constructed of non-glare finishes and earth tone colors that minimize reflectivity. All mechanical equipment shall be screened and not visually evident.
2. **Building Details.** Buildings shall provide adequate architectural articulation and detail to avoid a bulky and “box-like” appearance.
- a. Building façades shall be articulated and include active facades, with building projections or recesses, doorways and windows, textured materials, differentiated piers and columns, awnings, and other details that provide architectural articulation and design interest while providing views into and out of the building .
 - b. Cornices, upper floor balconies, roof terraces, and other architectural elements should be used, as appropriate, to terminate rooflines and accentuate setbacks between stories.
 - c. All applied surface ornamentation or decorative detailing shall be consistent with the architectural style of the building.
 - d. Each side of the building that is visible from a public right-of-way shall be designed with a complementary level of detailing. Particular attention shall be given to the detailing within the pedestrian’s range of touch and view, such as the use of special store-front detailing and façade ornamentation to reinforce the pedestrian character of the street.
3. **Green Building.** New buildings and retrofits to existing buildings are long term investments and should feature quality design/materials, flexible design to deal with changing demands and be built green. The City encourages residential, commercial and industrial properties to consider incorporating green building measures. Property owners who participate in the City Green Building Incentive Program (See Appendix D) are eligible for the following incentives:
- a. Projects will receive priority plan check by City Departments.
 - b. Residential projects will receive priority on the residential allocation waiting list.
 - c. Commercial projects area eligible for CFA allocations form the City’s CFA pool.
 - d. Projects will receive recognition by the City Council.
- D. **Pedestrian Orientation and Access.** On-site pedestrian circulation and access must be provided according to the following standards.
1. **Internal Connections.** A system of pedestrian walkways shall connect all buildings on a site to each other, to on-site automobile and bicycle parking areas, and to any on-site open space areas or pedestrian amenities.

2. **To Circulation Network.** Regular connections between on-site walkways and the public sidewalk shall be provided. An on-site walkway shall connect the primary building entry or entries to a public sidewalk on each street frontage.
3. **To Neighbors.** Direct and convenient access shall be provided from commercial and mixed-use projects to adjoining residential and commercial areas to the maximum extent feasible while still providing for safety and security.
4. **To Transit.** Safe and convenient pedestrian connections shall be provided from transit stops to building entrances.
5. **Interior Pedestrian Walkway Design.**
 - a. Walkways shall have a minimum clear unobstructed width of six feet, shall be hard-surfaced, and paved with concrete, stone, tile, brick, pervious paving, or comparable material.
 - b. Where a required walkway crosses driveways, parking areas, or loading areas, it must be clearly identifiable through the use of a raised crosswalk, a different paving material, or similar method.
 - c. Where a required walkway is parallel and adjacent to an auto travel lane, it must be raised or separated from the auto travel lane by a raised curb at least four inches high, bollards, or other physical barrier.

E. **Bicycle Parking.**

1. **Short-Term Bicycle Parking.** Short-term bicycle parking shall be provided in order to serve shoppers, customers, messengers, guests and other visitors to a site who generally stay for a short time.
 - a. **Parking Spaces Required.** The number of short term bicycle parking spaces shall be at least 10 percent of the number of required automobile parking spaces, with a minimum of two spaces per establishment, for commercial, mixed-use, and multi-family structures.
 - b. **Location.** Short-term bicycle parking must be located within 50 feet of a main entrance to the building it serves. Bicycle parking shall be visible from the street or from the main building entrance, or a sign must be posted at the main building entrance indicating the location of the parking. Bicycle parking shall be located outside of the public right of way except with an encroachment permit in the TSC-C and TSC-MUC districts, provided an unobstructed sidewalk clearance of six feet is maintained for pedestrians at all times.
 - c. **Anchoring and Security.** For each short-term bicycle parking space required, a stationary, securely anchored object shall be provided to which a bicycle frame and one wheel can be secured with a high-security U-shaped shackle lock if both wheels are left on the bicycle. One such object may serve multiple bicycle parking spaces.

- d. **Size and Accessibility.** Each short-term bicycle parking space shall be a minimum of two feet in width and six feet in length and shall be accessible without moving another bicycle. Two feet of clearance shall be provided between bicycle parking spaces and adjacent walls, poles, landscaping, street furniture, drive aisles, and pedestrian ways and at least five feet from vehicle parking spaces.



2. **Long-Term Bicycle Parking.** Long-term bicycle parking shall be provided in order to serve employees, residents, commuters, and others who generally stay at a site for four hours or longer.
- a. **Parking Spaces Required.**
- i. **Residential Uses.** A minimum of one long-term bicycle parking space shall be provided for every five units for multi-unit residential and group residential projects.
 - ii. **Parking Lots and Structures.** Long-term bicycle parking shall be provided at a minimum ratio of one space per 50 vehicle spaces.
- b. **Location.** Long-term bicycle parking must be located on the same lot as the use it serves. In parking garages, long-term bicycle parking must be located near an entrance to the facility.
- c. **Covered Spaces.** At least 50 percent of required long-term bicycle parking must be covered. Covered parking can be provided inside buildings, under roof overhangs or awnings, in bicycle lockers, or within or under other structures.
- d. **Security.** All long-term bicycle parking must be located in a secure area such as the following:
- i. An enclosed bicycle locker;
 - ii. A fenced, covered, locked or guarded bicycle storage area;

- iii. A rack or stand inside a building that is within view of an attendant or security guard or visible from employee work areas; or
 - iv. Other secure area approved by the Development Services Director.
 - e. *Size and Accessibility.* Each bicycle parking space shall be a minimum of two feet in width and six feet in length and shall be accessible without moving another bicycle. Two feet of clearance shall be provided between bicycle parking spaces and adjacent walls, poles, landscaping, street furniture, drive aisles, and pedestrian ways and at least five feet from vehicle parking spaces.
- F. **Snow Storage:** See SLCC Section 6.10.140.
- G. **Landscape Design:** See SLCC Section 6.10.150.
- H. **Exterior Lighting:** See SLCC Section 6.10.160.
- I. **Water Conservation:** See SLCC Section 6.10.170.
- J. **Street Right-of-Way Improvements:** The improvement of the public right-of-way is necessary for the safety and convenience of the residents, improving the quality of the community and the lake and unifying the appearance of the community with the establishment of a consistent set of improvement standards.
 1. Standard: All new road construction projects or the repair of existing improvements within the publicly owned right-of-way shall comply with the City of South Lake Tahoe Public Improvement Engineering Standards.
 2. Standard: Road fixtures, including but not limited to retaining walls, safety barriers, traffic signals and controllers, light standards, and other structures, shall be designed and installed in compliance with the with the City of South Lake Tahoe Public Improvement Engineering Standards.
 3. Standard: Color of road fixtures (other than signals, their auxiliary equipment and sign standards). Refer to the City of South Lake Tahoe Public Improvement Engineering Standards for specific details.
 4. Standard: Signal poles and their ancillary equipment and sign structures. Refer to the City of South Lake Tahoe Public Improvement Engineering Standards for specific details.
 5. Standard: Retaining walls and other erosion control devices. Refer to the City of South Lake Tahoe Public Improvement Engineering Standards and Chapter 36, City Grading Ordinance, for specific details.
 6. Standard: Street improvements required. Public and private projects shall be required to construct off-site improvements including curb, gutter, sidewalk and other improvements required by the city engineering division, consistent with the standards contained within the City of South Lake Tahoe Public Improvement

Engineering Standards, including street right-of-way improvements and landscaping standards, SLTCC 5-24, or at the discretion of the city engineer provide in-lieu fees when:

- a. A project located in the TC-C, TC-G, and TC-MUC involves a vacant lot and/or is a demolition and reconstruction project, or redevelopment or remodel with construction valuation of 50% or more than the structure valuation construction. The following are applicable:
 - i. The project is processed as a special use permit and is determined by the city engineering division that the off-site improvements are necessary for the orderly development of the area; or
 - ii. A public project, not subject to the special use permit process, is determined by the city engineering department to need off-site improvements for the orderly development of the area. (Ord. 903; Ord. 1002)
- K. **Scenic Highway Corridors:** See SLCC Section 6.10.190.
- L. **Parking, Driving and Loading:** See SLCC Section 6.10.290 through 6.10.410.
- M. **Signage:** See SLCC Chapter 6.40.